

Partial Roof Replacement 2017 at:

City of Moraine Firestation #30

3333 Pinnacle Park Drive
Moraine, Ohio 45439

SHEET INDEX

TI.1 TITLE SHEET / PROJECT INFORMATION / DETAILS
A.1 ROOF PLAN / ROOF DETAILS

OWNER

City of Moraine
4200 Dryden Road
Moraine, OH 45439

ARCHITECT ROOF CONSULTANT



CODE REVIEW

CONSTRUCTION TYPE II B

USE GROUP: B / S-1 [EXISTING]

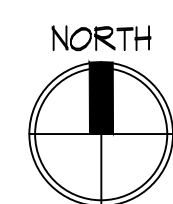
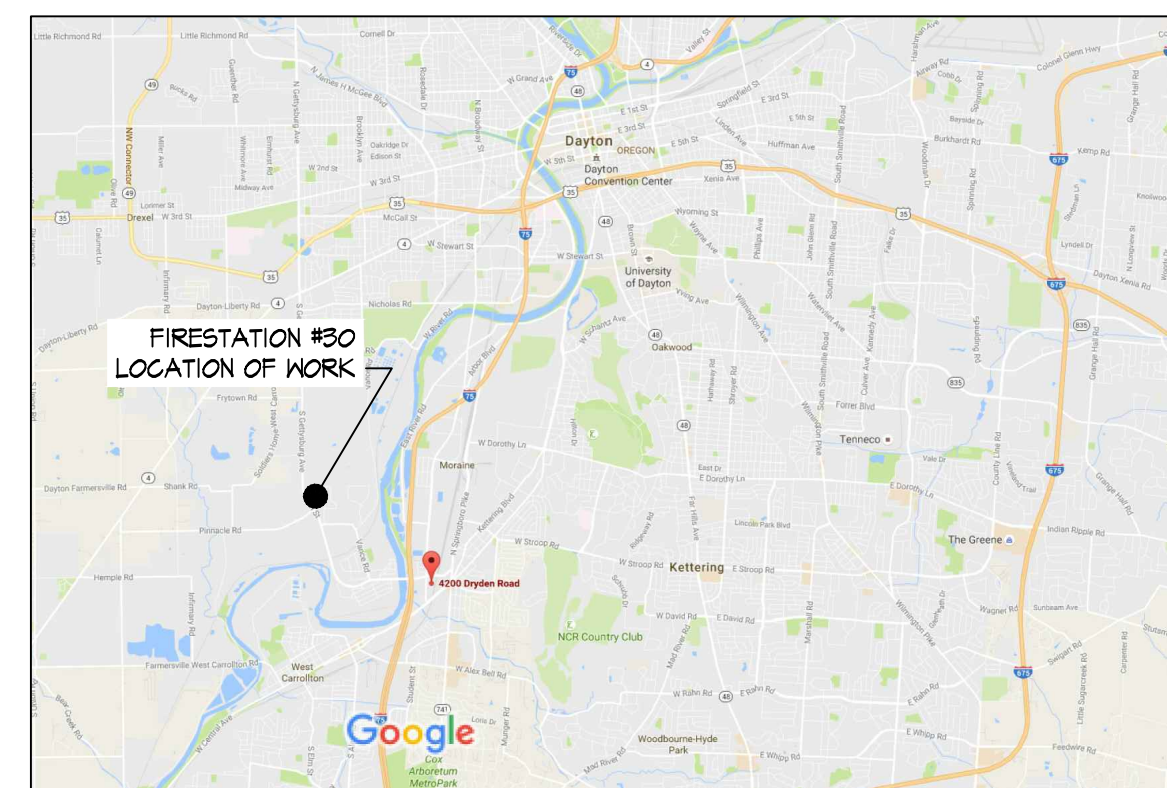
THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED IMPROVEMENTS TO ROOFTOP BUILDING COMPONENTS.

NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

EXISTING BUILDING CONSTRUCTION

STRUCTURE: CONCRETE / CMU BEARING WALL WITH STEEL SKELETON STRUCTURAL SYSTEM.
EXTERIOR WALLS: CMU
PARTITION WALLS: METAL STUD WITH DRYWALL

VICINITY MAP



GENERAL PROJECT NOTES / REQUIREMENTS

- THE INTENT OF THESE DOCUMENTS IS A ROOF REPLACEMENT PROJECT AT THE CITY OF MORAIN FIRESTATION #30.
- BUILDING WILL BE FULLY OCCUPIED DURING CONSTRUCTION FOR ON-GOING OPERATIONS. CONSTRUCTION ACTIVITIES SHALL BE CLOSELY COORDINATED WITH OWNER AND THE DESIGN TEAM TO MINIMIZE THE IMPACT ON THE OCCUPANTS - REFER TO SPECIFICATIONS. CONTRACTOR SHALL INCLUDE ANY ADDITIONAL COSTS FOR PROJECT SCHEDULING AS INDICATED HEREIN AND WITHIN SPECIFICATIONS.
- MAINTAIN ALL REQUIRED PATHS OF EGRESS DURING CONSTRUCTION. PROVIDE PROTECTIVE BARRICADES AND BARRIERS AT BUILDING ENTRANCES AS NECESSARY TO MAINTAIN SAFE INGRESS/EGRESS.
- MAINTAIN ACCESS FOR SAFE INGRESS AND EGRESS OF FIRE TRUCKS AND APPARATUS DURING ALL TIMES.
- CONTRACTOR SHALL USE ALL MEASURES NECESSARY TO MINIMIZE DUST/DIRT/DEBRIS FROM ENTERING INTERIOR PORTIONS OF THE BUILDING. PROVIDE ALL TEMPORARY PROTECTION REQ'D.
- THE GENERAL CONTRACTOR SHALL EXAMINE ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO CONSTRUCTION FOR ACCURACY AS SHOWN WITH THE INTENT OF THESE DRAWINGS. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF CONDITIONS.
- DRAWINGS MAY INDICATE TYPICAL CONDITIONS WHICH MAY VARY SLIGHTLY FROM AREA TO AREA. CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS.
- ALL WORK SHALL CONFORM TO THE 2011 OHIO BUILDING CODE AND ALL OTHER LOCAL GOVERNING CODES. GENERAL CONTRACTOR TO APPLY, BE RESPONSIBLE FOR COORDINATION OF, AND PAY FOR ALL REQUIRED PERMITS. WORK SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS ARE OBTAINED.
- ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
- THE GENERAL CONTRACTOR SHALL LOCATE ALL EXISTING ITEMS THAT MAY IMPACT INTENDED WORK PRIOR TO PROCEEDING WITH WORK. REPORT ANY CONCEALED ELEMENTS OR DIFFERING CONDITIONS WHICH MAY AFFECT CONSTRUCTION TO THE ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING BETWEEN WORK OF OTHER TRADES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION SAFETY, COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. THIS INCLUDES APPLICABLE FIRE WATCH FOR ANY HOT WORK TO BE CONDUCTED AS PART OF THE PROJECT.
- CONTRACTOR TO INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
- DO NOT SCALE DRAWINGS. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS/EXTENT OF WORK REQUIRED AND INFORMATION IN THESE DRAWINGS GOVERNING THEIR SCOPE OF THE WORK. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES IN THESE DRAWINGS WHICH ARE DISCOVERED ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY, BEFORE PROCEEDING WITH THE WORK. ANY SITE OR JOB CONDITIONS THAT ARISE AND CAUSE THE CONTRACTOR TO VARY FROM THE CONTRACT DOCUMENTS SHALL BE ANALYZED BY AND ARE THE RESPONSIBILITY OF THE CONTRACTOR IF THEY ARE NOT REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- DIMENSIONING:
 - ALL DIMENSIONS ARE FROM EXISTING FINISHED SURFACE
 - REFER TO DRAWING NOTES FOR ANY SPECIAL NOTES THAT GOVERN LAYOUT.
 - ALL DIMENSIONS ARE APPROXIMATE AND SUBJECT VERIFICATION IN THE FIELD.
- CONTRACTOR SHALL PROVIDE ON-SITE SECURABLE CONSTRUCTION MATERIALS STORAGE AND TRASH DUMPSTER FOR THE PROJECT. LOCATE IN AN APPROVED LOCATION, COORDINATE WITH THE OWNER. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING REQUIRED SECURITY/PROTECTION MEASURES.
- CONTRACTOR SHALL CLEAN THE CONSTRUCTION SITE ON A DAILY BASIS FROM ALL CONSTRUCTION DEBRIS. SITE MUST BE KEPT IN A NEAT ORDERLY FASHION AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY CRANES, MAN-LIFTS, CHUTES, ETC. FOR THE PROPER EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL EXAMINE ALL EXISTING CONDITIONS AND FIELD VERIFY ALL CONDITIONS, DIMENSIONS, SLOPES, DETAILS, ETC. PRIOR TO THE START OF WORK. REPORT ANY CONCEALED COMPONENTS THAT MAY AFFECT CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM ALL EXISTING DIMENSIONS AND LOCATE EXISTING DRAIN, CURBS, PENETRATIONS, ETC. PRIOR TO THE START OF NEW WORK. DO NOT SCALE THE DRAWINGS. ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ROOF CONSULTANT FOR CLARIFICATION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DRAINAGE SYSTEMS (INTERNAL ROOF DRAINS, SCUPPERS, GUTTERS, ETC.) ARE FREE-FLOWING AND DRAINING PROPERLY. START OF WORK IMPLIES ACCEPTANCE OF CONDITIONS. IF DRAINAGE SYSTEMS BECOME CLOGGED DURING WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADDRESS AND UN-CLOG ANY DRAINAGE SYSTEM COMPONENT AT THEIR EXPENSE.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL EXISTING DRAINS AND NOTIFY THE ROOF CONSULTANT OF ANY REPAIRS THAT ARE NECESSARY SUCH AS BROKEN DRAIN BOLTS, CLAMPING RINGS, ETC.. ALL DRAINS REQUIRE NEW FLASHING AND ANY COMPONENTS TO MAKE / MAINTAIN THEM OPERATIONAL.
- START OF WORK IMPLIES ACCEPTANCE OF ALL EXISTING CONDITIONS. NOTIFY ROOF CONSULTANT OF ANY DEVIATIONS OR DISCREPANCIES FROM THE INTENT OF THE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING BETWEEN OTHER TRADES, SUB-CONTRACTORS, ETC. AS APPLICABLE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS, FLASHINGS, TERMINATIONS, ETC. ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM. BY THE NATURE OF THE WORK, IT IS DIFFICULT TO IDENTIFY ALL POSSIBLE DETAIL CONDITIONS, REQUIRED FLASHINGS, ETC. COORDINATE ALL APPLICABLE DETAILS WITH THE MANUFACTURER FOR ACCEPTANCE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A COMPLETE SET OF MSDS SHEETS FOR ALL MATERIALS USED ON THE PROJECT ON THE PROJECT SITE.
- ALL WORK SHALL BE COORDINATED TO MINIMIZE DISTURBANCE TO THE BUILDING OCCUPANTS. THE CONTRACTOR SHALL COORDINATE SHUT DOWN OF HVAC / VENTILATION SYSTEMS, ETC. A MINIMUM OF 48 HOURS PRIOR TO ANY DISRUPTION OF SERVICE.
- CONTRACTOR SHALL DISCONNECT AND RECONNECT ALL HVAC EQUIPMENT INCLUDING ELECTRICAL CONNECTION, REFRIGERANT PIPING, ETC. PROVIDE OWNER A 48 HOUR NOTICE PRIOR TO PERFORMING THIS WORK.
- THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ADEQUATE PROTECTION FROM VAPORS, FUMES, SMELL, ETC. FROM ENTERING THE BUILDING TO THE BEST OF THEIR ABILITY. PROVIDE PROTECTION OF EXISTING SYSTEMS AS REQUIRED, COORDINATE WITH THE OWNER.
- PROJECT STAGING AREA SHALL BE COORDINATED WITH THE OWNER.
- ROOF ACCESS SHALL BE PROVIDED VIA CONTRACTOR PROVIDED/MAINTAINED LADDER. NO DIRECT ACCESS WILL BE PROVIDED TO OTHER AREAS OF THE INTERIOR OF THE BUILDING UNLESS SPECIFICALLY APPROVED AND COORDINATED BY THE OWNER.
- THE CONTRACTOR SHALL CLEAN THE WORK SITE ON A DAILY BASIS FROM ALL CONSTRUCTION DEBRIS. ENSURE THAT ALL DEBRIS AND MATERIALS LOCATED ON THE ROOF ARE PROPERLY SECURED/STRAPPED DOWN. NO DEBRIS SHALL BE LEFT ON THE GROUNDS AROUND THE BUILDING AT ANY TIME.
- THE CONTRACTOR SHALL REMOVE ALL UNUSED VENT PIPES, EQUIPMENT SUPPORTS, ETC. COORDINATE WITH THE OWNER.
- ENSURE THAT ALL PENETRATIONS ARE PROPERLY SUPPORTED BELOW THE DECK.
- CONTRACTOR SHALL CHECK FOR ROOFTOP CONDUITS, OBSTRUCTIONS, ETC. UNDER DECK PRIOR TO APPLICATION OF INSULATION, MECHANICAL FASTENING, ETC.. COORDINATE ACCESS TO BELOW ROOF DECK WITH BUILDING OWNER.
- REMOVE AND REINSTALL EXISTING ROOFTOP CONDUITS/CABLING, ETC. AS REQUIRED TO INSTALL NEW ROOF SYSTEM.
- TAPERED INSULATION OR SADDLES LAYOUT AS SHOWN PROVIDES A GUIDE. FOLLOW THE INTENT OF THE DRAWINGS, ONLY SLIGHT ADJUSTMENTS SHALL BE MADE. ACTUAL INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED MANUFACTURERS SCALED LAYOUT.
- THE CONTRACTOR SHALL VERIFY EXISTING DECK SURFACES AND SLOPES PRIOR TO INSTALLATION OF NEW INSULATION/TAPERED INSULATION, ETC.. TAKE ALL PROVISIONS TO ENSURE PROPER DRAINAGE INCLUDING STRING LEVELING THE DECK, ETC. TO DETERMINE ANY IRREGULARITIES, BELLY, RIDGE, ETC. THAT MAY AFFECT THE PROPER FLOW OF WATER TO THE DRAINAGE SYSTEM.
- AT THE END OF EACH WORK DAY, ALL WORK SHALL BE COMPLETED IN SUCH A MANNER TO BE ADEQUATELY SEALED WATER-TIGHT TO EITHER EXISTING ROOF SYSTEMS OR PROPER FLASHINGS / TERMINATIONS AS IS APPLICABLE TO THE WORK. ALL PROVISIONS MUST BE TAKEN TO MINIMIZE ANY LEAKS INTO THE BUILDING.

COVERBOARD ADHESIVE INSTALLATION PATTERN

METAL DECK:
ZONE 1: 12" O.C. ADHESIVE BEADS
ZONE 2: 6" O.C. ADHESIVE BEADS
ZONE 3: 4" O.C. ADHESIVE BEADS

NOTE:
THE INDICATED ATTACHMENT RATES ARE THE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL CONFIRM WITH THE MANUFACTURER AND FACTORY MUTUAL GLOBAL SYSTEM ASSEMBLY TO ENSURE THE ACTUAL SYSTEM BEING INSTALLED PER THEIR REQUIREMENTS TO MEET THE SPECIFIED WARRANTY (INCLUDING WIND) REQUIREMENTS. THIS SHALL BE ACCOMPLISHED PRIOR TO SUBMITTING FOR BIDS AND ANY DEVIATION SHALL BE INCLUDED IN THE BID AMOUNT.

INSULATION MECHANICAL ATTACHMENT PATTERN

METAL DECK:
ZONE 1: 8 FASTENERS PER 4x8 BOARD
ZONE 2: 16 FASTENERS PER 4x8 BOARD
ZONE 3: 32 FASTENERS PER 4x8 BOARD

NOTE:
THE INDICATED ATTACHMENT RATES ARE THE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL CONFIRM WITH THE MANUFACTURER AND FACTORY MUTUAL GLOBAL SYSTEM ASSEMBLY TO ENSURE THE ACTUAL SYSTEM BEING INSTALLED PER THEIR REQUIREMENTS TO MEET THE SPECIFIED WARRANTY (INCLUDING WIND) REQUIREMENTS. THIS SHALL BE ACCOMPLISHED PRIOR TO SUBMITTING FOR BIDS AND ANY DEVIATION SHALL BE INCLUDED IN THE BID AMOUNT.

WIND PRESSURE DESIGN NOTES:

ENGINEERED DESIGN BASED UPON OHIO BUILDING CODE AND ASCE 7-05 WIND PRESSURES AND FACTORY MUTUAL GLOBAL REQUIREMENTS.

COMPONENTS AND GLAZING:

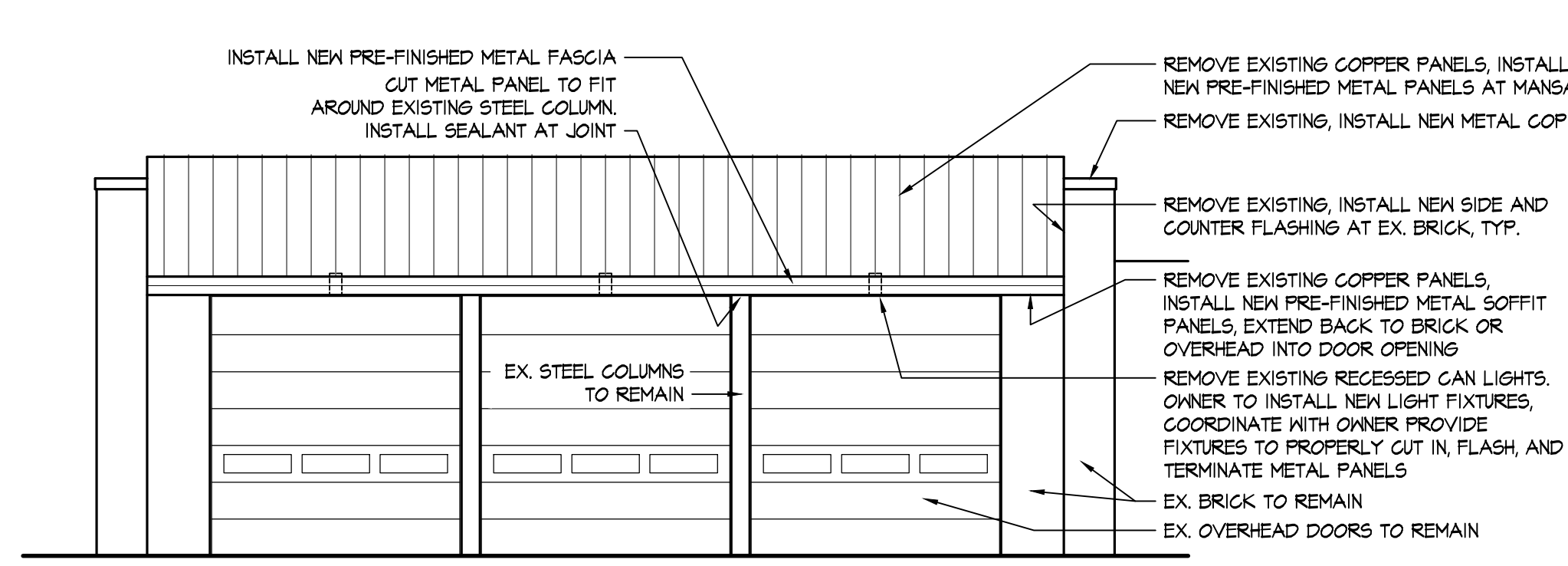
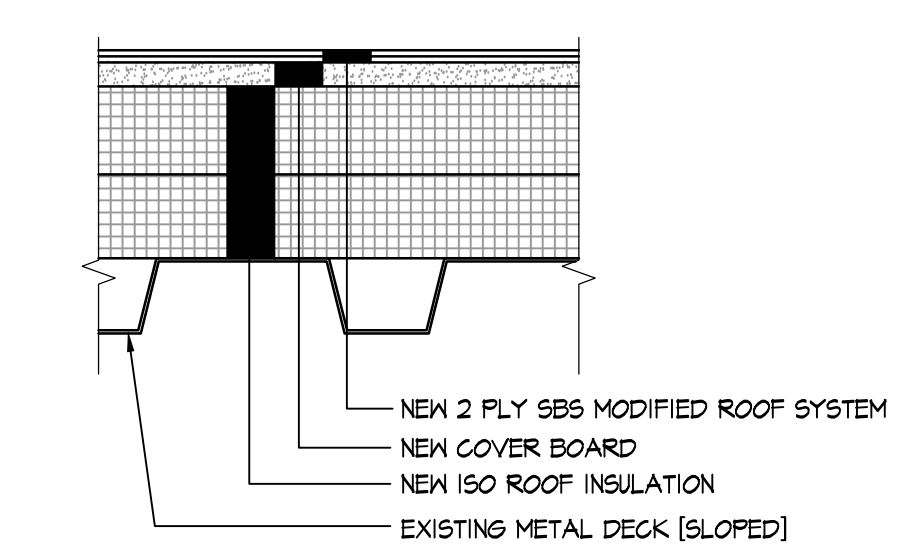
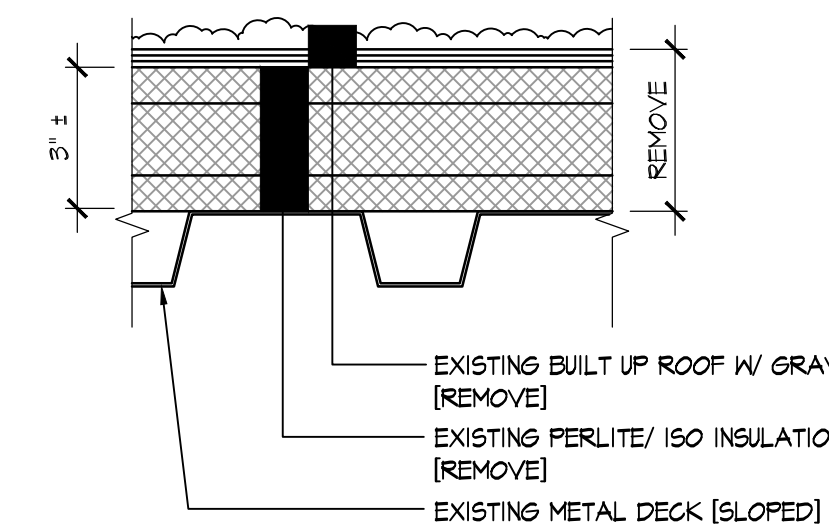
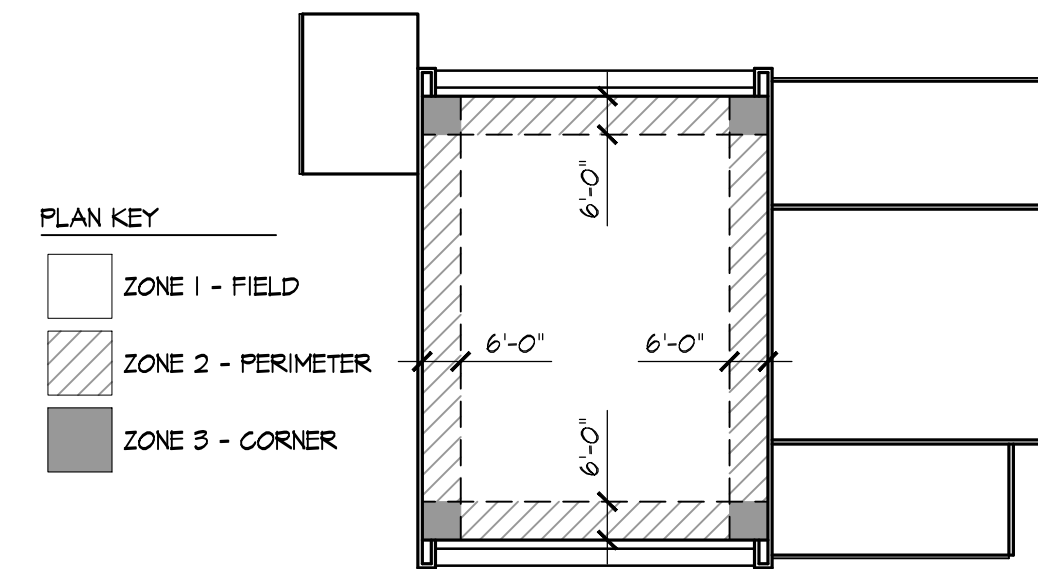
-WIND REGION: 10 MPH
-BUILDING CONFIGURATION ENCLOSED.
-EXPOSURE 'C'
-IMPORTANCE CATEGORY: III

DESIGN WIND LOADS (PRESSURE) IN ACCORDANCE WITH ASCE 7-05 AND FACTORY MUTUAL GLOBAL:

ZONE 1 (FIELD): -18 PSF
ZONE 2 (PERIMETER): -31 PSF
ZONE 3 (CORNERS): -46 PSF

EDGE METAL DESIGN PRESSURES:

HORIZONTAL: -22 PSF
VERTICAL: -36 PSF



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3333 Pinnacle Park Drive
Moraine, Ohio 45439
PREPARED FOR THE CITY OF MORAIN

Print Record
12/01/16 REVIEW SET 03/20/17 BID SET
Project Number 2016-158
Date MARCH 20, 2017
Sheet Title TITLE SHEET PROJECT INFORMATION DETAILS
Sheet Number TI.1

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PREPARED FOR THE CITY OF MORAIN

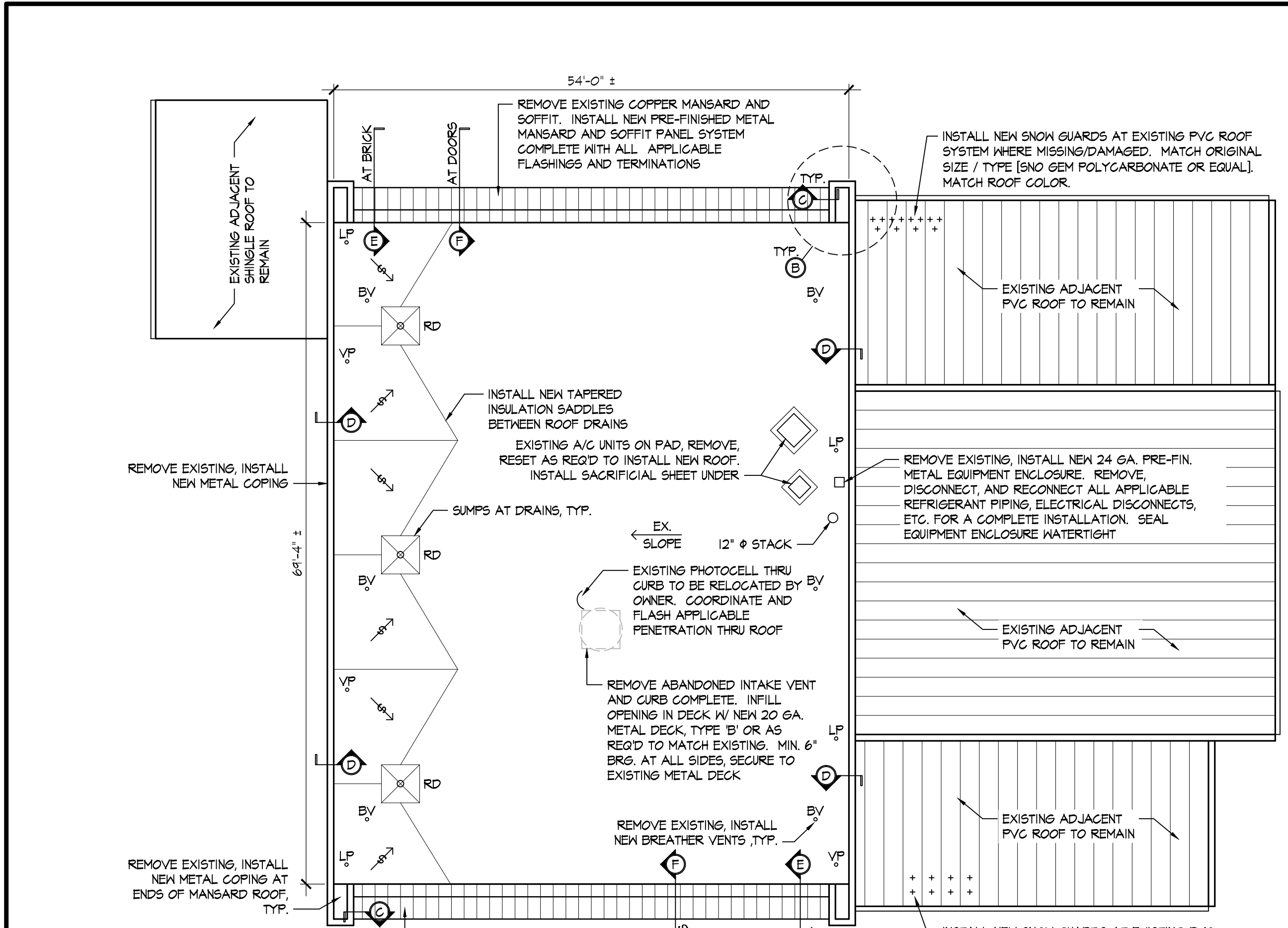
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Sheet Title
 ROOF PLAN
 ROOF DETAILS

Sheet Number
A1.1



REMOVE EXISTING, INSTALL NEW METAL COPING AT ENDS OF MANSARD ROOF, TYP.

REMOVE EXISTING COPPER MANSARD AND SOFFIT. INSTALL NEW PRE-FINISHED METAL MANSARD AND SOFFIT PANEL SYSTEM COMPLETE WITH ALL APPLICABLE FLASHINGS AND TERMINATIONS.

INSTALL NEW SNOW GUARDS AT EXISTING PVC ROOF SYSTEM WHERE MISSING/DAMAGED. MATCH ORIGINAL SIZE / TYPE (SNO GEM POLYCARBONATE OR EQUAL). MATCH ROOF COLOR.

REMOVE EXISTING, INSTALL NEW BREATHER VENTS, TYP.

EXISTING ADJACENT PVC ROOF TO REMAIN

REMOVE EXISTING COPPER MANSARD AND SOFFIT. INSTALL NEW PRE-FINISHED METAL MANSARD AND SOFFIT PANEL SYSTEM COMPLETE WITH ALL APPLICABLE FLASHINGS AND TERMINATIONS.

INSTALL NEW TAPERED INSULATION SADDLES BETWEEN ROOF DRAINS.

EXISTING A/C UNITS ON PAD, REMOVE, RESET AS REQ'D TO INSTALL NEW ROOF. INSTALL SACRIFICIAL SHEET UNDER.

SUMPS AT DRAINS, TYP.

EXISTING PHOTOCELL THRU CURB TO BE RELOCATED BY BV OWNER. COORDINATE AND FLASH APPLICABLE PENETRATION THRU ROOF.

REMOVE ABANDONED INTAKE VENT AND CURB COMPLETE. INFILL OPENING IN DECK W/ NEW 20 GA. METAL DECK, TYPE 'B' OR AS REQ'D TO MATCH EXISTING. MIN. 6" BRG. AT ALL SIDES, SECURE TO EXISTING METAL DECK.

REMOVE EXISTING, INSTALL NEW METAL COPING AT ENDS OF MANSARD ROOF, TYP.

REMOVE EXISTING, INSTALL NEW METAL COPING AT ENDS OF MANSARD ROOF, TYP.

INSTALL NEW ROOF DRAIN INSERTS AT ALL ROOF DRAINS. INSTALL ANY/ALL APPLICABLE COMPONENTS TO MAKE ROOF DRAINS FULLY OPERATIONAL.

COORDINATE EXACT TYPE/PROFILE WITH EXISTING CONDITIONS.

CONTRACTOR SHALL INSPECT EXISTING CONDITIONS AT ADJACENT PVC AND SHINGLE ROOFS AND PROVIDE ALL REQUIRED AND NECESSARY PREVENTATIVE MAINTENANCE TO THE ROOFS TO MAINTAIN WATERTIGHT. PVC ROOFS ARE UNDER SARNAFIL WARRANTY - COORDINATE WITH SARNAFIL AS REQ'D. WORK TO INCLUDE, BUT NOT LIMITED TO: REPLACEMENT OF DAMAGED OR MISSING SNOW GUARDS, REPLACEMENT OF SEALANT JOINTS, REPAIR/REPLACEMENT OF FLASHING, ETC.

CONTRACTOR SHALL CLEAN THE EXISTING PVC ROOF SYSTEMS PER SARNAFIL REQUIREMENTS. CLEAN W/ A SOAP DETERGENT AND WATER USING LOW PRESSURE POWER WASHER AS REQ'D TO REMOVE EXISTING ATMOSPHERIC DIRT AND BUILT UP FROM THE ROOF MEMBRANE.

NOTE: CONTRACTOR SHALL HAVE A WRITTEN SITE SPECIFIC SAFETY PLAN DEVELOPED FOR THE PROJECT. CONTRACTOR SHALL HAVE A SAFETY PERSONNEL / MONITOR ON THE PROJECT AT ALL TIMES.

INCLUDE IN THE PROJECT REMOVAL AND REPLACEMENT OF 600 SF OF RUSTED OR DETERIORATED METAL DECK IN ADDITION OF THE INFILL AT THE ABANDONED CURB. THE DECK IS EXPOSED FROM BELOW. OWNER WILL PAINT EXPOSED AREA OF METAL DECK. INFILL.

REMOVE AND REINSTALL LIGHTNING PROTECTION SYSTEM AS REQ'D TO INSTALL NEW ROOF. RECERTIFY SYSTEM UPON COMPLETION OF WORK - REFER TO SPECS.

REMOVE EXISTING COPPER, INSTALL NEW PRE-FINISHED METAL SURFACE MOUNTED COUNTER FLASHING. ANCHOR IN PLACE AT 12" O.C.

NEW PRE-FINISHED METAL SIDE WALL FLASHING

REMOVE EXISTING COPPER PANELS, INSTALL NEW PRE-FINISHED METAL PANEL SYSTEM

REMOVE EXISTING, INSTALL NEW SELF ADHERING ICE AND WATER SHIELD MEMBRANE OVER ENTIRE MANSARD / SHEATHING, TURN UP WALL

EXISTING PLYWOOD SHEATHING TO REMAIN [ASSUMED - FIELD VERIFY]

Z-CLOSURE, SET IN BED OF SEALANT

EXISTING BRICK TO REMAIN, SEAL ALL EXISTING HOLES

